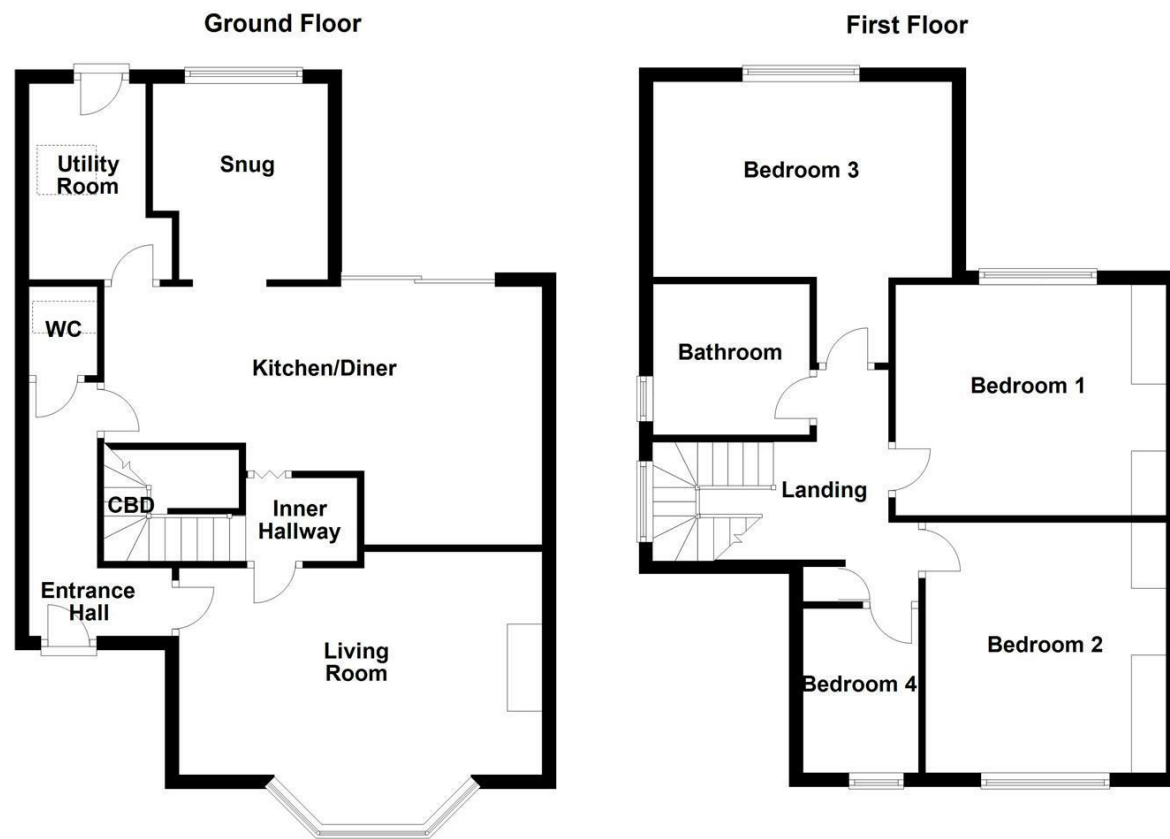




|                                   |                                     |                                    |
|-----------------------------------|-------------------------------------|------------------------------------|
| <b>WAKEFIELD</b><br>01924 291 294 | <b>OSSETT</b><br>01924 266 555      | <b>HORBURY</b><br>01924 260 022    |
| <b>NORMANTON</b><br>01924 899 870 | <b>PONTEFRAC T</b><br>01977 798 844 | <b>CASTLEFORD</b><br>01977 808 210 |



| Energy Efficiency Rating                    |  | Current                 | Potential |
|---|--|-------------------------|-----------|
| Vary energy efficient - lower running costs |  |                         |           |
| (92 plus) A                                 |  |                         |           |
| (81-91) B                                   |  |                         |           |
| (69-80) C                                   |  |                         |           |
| (55-68) D                                   |  |                         |           |
| (39-54) E                                   |  |                         |           |
| (21-38) F                                   |  |                         |           |
| (1-20) G                                    |  |                         |           |
| Not energy efficient - higher running costs |  |                         |           |
| England & Wales                             |  | EU Directive 2002/91/EC |           |

**IMPORTANT NOTE TO PURCHASERS**

We endeavour to make our sales particulars accurate and reliable, however, they do not constitute or form part of an offer or any contract and none is to be relied upon as statements of representation or fact. Any prospective purchasers should take their own measurements to enable them to obtain exact details for the purpose of fitted carpets. Please note that none of the appliances mentioned in our brochures i.e. gas boilers, heaters, cookers, refrigerators etc. have been checked or tested and cannot be guaranteed to be in working order. If you require clarification or further information on any points, please contact us, especially if you are travelling some distance to view. Fixtures and fittings other than those mentioned are to be agreed with the seller.

**MORTGAGES** [www.mortgagesolutionsofwakefield.co.uk](http://www.mortgagesolutionsofwakefield.co.uk)  
Did you know that we have our own specialist mortgage consultants who can provide you with free independent advice and information regarding your house purchase and everything it entails, from budget planning to finding the best mortgage available to you\*

Wakefield office 01924 339572,  
Pontefract & Castleford office 01977 798844 or 07776458351,  
Ossett & Horbury offices 01924 266555  
and Normanton office 01924 899870.  
Alternatively email [vince@mortgagesolutionsofwakefield.co.uk](mailto:vince@mortgagesolutionsofwakefield.co.uk) or [chris@mortgagesolutionsofwakefield.co.uk](mailto:chris@mortgagesolutionsofwakefield.co.uk)

\*your home may be repossessed if you do not keep up repayments on your mortgage

**FREE MARKET APPRAISAL**

If you are thinking of making a move then take advantage of our FREE market appraisals, with the knowledge that we have been selling houses for the people of the WF postcodes for over 50 years.

**PROPERTY ALERTS**

Make sure you keep up to date with all new properties in your price range in the particular area you have in mind by registering your details with us.

**CONVEYANCING**

Richard Kendall Estate Agent is proud to have their own panel of solicitors offering a comprehensive service to our clients requiring Conveyancing services. This service enables Richard Kendall Estate Agent to work hand in hand with our solicitors and our mortgage brokers to ensure the legal process of buying or selling your homes is as seamless as possible.



**28 Athold Street, Ossett, WF5 0NB**

**For Sale Freehold £335,000**

This superb four bedroom semi detached house benefitting from well proportioned bedrooms, three reception rooms and a larger than average rear garden.

The property fully comprises of entrance hall, downstairs w.c., kitchen/diner, snug, utility room, living room and inner hallway to complete the ground floor. The first floor landing leads to four bedrooms and a three piece suite house bathroom/w.c. Externally to the front there is a resin driveway providing off road parking with further on street parking available. To the rear, there is a large tiered patio area, perfect for entertaining and dining purposes, a timber summerhouse with power and light within and a larger than average, enclosed and attractive lawned rear garden leading to a stable block and a single detached garage.

The property itself is situated within the sought after village of Ossett which benefits from a twice weekly market, with main bus routes running to and from Wakefield city centre. The M1 motorway is only a short distance away.

Only a full internal inspection will reveal all that's on offer at this quality home and an early viewing comes highly recommended.



#### ACCOMMODATION

##### ENTRANCE HALL

Fully tiled floor, central heating radiator with radiator cover, pitch sloping ceiling with two UPVC double glazed Velux windows. Doors to downstairs w.c., living room and kitchen/diner.

##### LIVING ROOM

167" x 101" [min] x 130" [max] [5.07m x 3.08m (min) x 3.98m (max)]

UPVC double glazed windows overlooking the front aspect, laminate flooring, central heating radiator and living flame effect gas fire on a granite hearth with cast iron detailing and wooden decorative surround. Picture rail, coving to the ceiling and door providing access to the inner hallway.



##### INNER HALLWAY

Staircase leading to the first floor landing and central heating radiator. Bi-folding wooden door leading through to the kitchen/diner.

##### W.C.

Low flush w.c., ceramic wash basin with tiled splash back and chrome waterfall mixer tap and high gloss vanity cupboards below with chrome handles. Wall mounted extractor fan, central heating radiator, fully tiled floor and pitch sloping ceiling with UPVC double glazed Velux window.

##### KITCHEN/DINER

208" x 610" [min] x 129" [max] [6.30m x 2.10m (min) x 3.90m (max)]

Bespoke solid wooden kitchen with quartz work surface over and quartz upstanding above. Built in double door larder pantry cupboard with strip LED lighting within providing a wealth of storage. Full size integrated Neff fridge, full size integrated Bosch dishwasher, ceramic sink with chrome mixer tap with swan neck above and Range cooker with five ring gas hob with

tiled splash back set into chimney breast. Down lights built into the wall cupboards, display cabinets, central island with solid wooden work surface over and breakfast bar with seating. Under floor gas heating with fully tiled floor and feature archway leading through to the snug. Set of UPVC double glazed sliding patio doors leading into the larger than average rear garden with UPVC double glazed sun light above. Two low hanging lights over the dining area, door providing access to utility room and door to under stairs storage cupboard with light within.



##### SNUG

92" x 83" [max] x 71" [min] [2.81m x 2.52m [max] x 2.17m (min)]

UPVC double glazed window overlooking the rear aspect and under floor gas heating with fully tiled floor.



##### UTILITY ROOM

93" x 58" [min] x 610" [max] [2.82m x 1.74m (min) x 2.09m (max)]

Creole to the ceiling with pitch sloping section with UPVC double glazed Velux window within. Range of wall and base units with laminate work surface over and tiled splash back above and stainless steel sink and drainer with chrome mixer tap and swan neck. Plumbing and drainage for a washing machine with space under the counter, space for a large fridge/freezer freestanding, fully tiled floor and UPVC double glazed door leading into the rear garden. Central heating radiator and combi condensing boiler housed within one of the cupboards.

##### FIRST FLOOR LANDING

UPVC double glazed frosted window overlooking the side elevation. Doors to four bedrooms, bathroom/w.c. and built in storage cupboard with fixed shelving within.

##### BEDROOM ONE

112" x 811" [up to fitted wardrobes] [3.42m x 2.72m [up to fitted wardrobes]]

Loft access, laminate flooring and UPVC double glazed window overlooking the rear elevation. Central heating radiator and a range of fitted furniture with two double fitted wardrobes and a single wardrobe.



##### BEDROOM TWO

85" x 122" [up to fitted wardrobes] [2.59m x 3.73m [up to fitted wardrobes]]

UPVC double glazed window to the front elevation, coving to the ceiling, central heating radiator with a range of fitted furniture with a double wardrobe and two single wardrobes.



##### BEDROOM THREE

93" x 106" [plus walk in area] [2.83m x 3.22m [plus walk in area]]

Laminate flooring, UPVC double glazed window overlooking the rear elevation and central heating radiator.

##### BEDROOM FOUR

80" x 54" [2.45m x 1.65m]

Coving to the ceiling, UPVC double glazed window overlooking the front elevation, laminate flooring and central heating radiator.

##### BATHROOM/W.C.

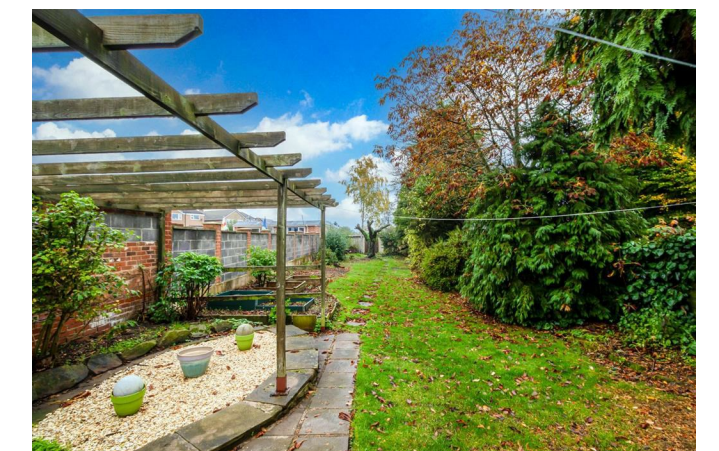
58" x 69" [1.74m x 2.08m]

Three piece suite comprising panelled bath with full tiled surround and glass swinging shower screen and mixer shower attachment. Half tiled walls, ceramic wash basin with chrome mixer tap built into high gloss vanity cupboards with chrome handles below, low flush w.c., Amtico vinyl flooring, contemporary white radiator with chrome towel rail surrounding, inset spotlights to the ceiling, extractor fan and UPVC double glazed frosted window overlooking the side elevation.



##### OUTSIDE

To the front of the property there is a resin driveway providing off road parking with a low maintenance pebbled front garden, timber gate providing access down the side of the property and chrome outside light to the side of the front door. Concrete pathway enters the larger than average enclosed rear garden with an elevated paved patio area overlooking the low maintenance artificial lawned garden below with planted borders and Yorkshire stone seating area. There is a second paved patio area in front of the timber summerhouse which has a timber decked area under the timber porch with timber door accessing the summerhouse and timber double glazed window overlooking the front aspect. Summerhouse has power and light with its own consumer unit. Rose arch provides into the garden with a timber wooden pergola over a pebbled seating area, an attractive lawned garden which flows 200ft with allotment style beds and attractive lawned garden with central paved pathway with mature trees. There is a stand alone stable with full timber stable door to the front with paved patio area in front, single detached garage with timber double doors and timber gate accessing the lane behind.



##### COUNCIL TAX BAND

The council tax band for this property is C.

##### FLOOR PLANS

These floor plans are intended as a rough guide only and are not to be intended as an exact representation and should not be scaled. We cannot confirm the accuracy of the measurements or details of these floor plans.

##### VIEWINGS

To view please contact our Ossett office and they will be pleased to arrange a suitable appointment.

##### EPC RATING

To view the full Energy Performance Certificate please call into one of our local offices.